



ZONING DATA TABLE			
NORTHWEST PROPERTY 459 WEBSTER ST			
ZONING DISTRICT: Institutional			
ITEM	REQUIRED/PERMITTED	EXISTING	PROPOSED
Proposed Use:	COLLEGE OR UNIVERSITY EDUCATIONAL AND SUPPORT BUILDINGS	PRIVATE SCHOOL	COLLEGE OR UNIVERSITY EDUCATIONAL AND SUPPORT BUILDINGS
Min. Lot Area:	2 AC	0.577 AC	0.577 AC
Tract Size:	2,000 SF	25,134 SF	25,134 SF
Lot Size:	20 FT	77 FT	77 FT
Min. Lot Width:	20 FT	77 FT	77 FT
Max. Bldg Height:	35 FT (see below)	60 FT	3 Stories with Lower Level
Max. Bldg Coverage:	65%	15%	78%
Impervious Coverage:	80%	71%	90%
Building Setback:			
Min. Front Yard Setback:	20 FT	0 FT	5 FT
Min. Side Yard Setback:	N/A (see below)	N/A	N/A
Min. Rear Yard Setback:	28.33 FT (see below)	0 FT	0 FT
Parking:			
Min. Parking Space Size:	9 FT X 18 FT	9 FT X 18 FT	N/A

1306.02 Additional Height Restrictions.
(c) In the CS, CG, LI, IO, IR and IN districts, if a building is proposed to have a height exceeding 35 feet, then one foot of additional setback shall be required from an abutting lot line of an existing dwelling in a residential district for each 3 feet of building height over 35 feet. If such dwelling is in common ownership at the time of construction of the taller building with the use providing the setback, the additional setback may be waived.
(d) In the Institutional Zone, height of buildings may equal the right-of-way of an adjacent street. Buildings may exceed this height if building is set back, in addition to the required setback, one (1) foot for each three (3) feet, or fraction thereof by which such building exceeds the width of the street.
1302.67 and 1318.07
Corner lots are defined as "A lot whose lot lines form an interior angle of less than 135 degrees at the intersection of 2 street lines." Webster Street, Packer Ave. and Taylor Street meet the definition of a street, whereas Van Buren meets the definition of an alley. City of Bethlehem has previously addressed this condition as a corner lot, therefore this scenario will have corners at Packer and Webster and Packer and Taylor. Per 1318.07, the setback requirement would be treated as a front yard setback and be 20' for all three streets.
1306.01(b) Note 8 and 1306.02(c)
(c) In the CS, CG, LI, IO, IR and IN districts, if a building is proposed to have a height exceeding 35 feet, then one foot of additional setback shall be required from an abutting lot line of an existing dwelling in a residential district for each 3 feet of building height over 35'.
1319.01 Required Off-Street Parking Space
(B) Universities and Colleges - One parking space for every two persons employed at peak periods at the institution, plus one space for each five non-resident students on the premises at peak times, plus parking for on-campus housing, plus additional space as required by this parking schedule because of any supplementary parking generating activities at the institution. The City may approve the use of off-site parking if the institution provides a regular shuttle service.

GENERAL NOTES

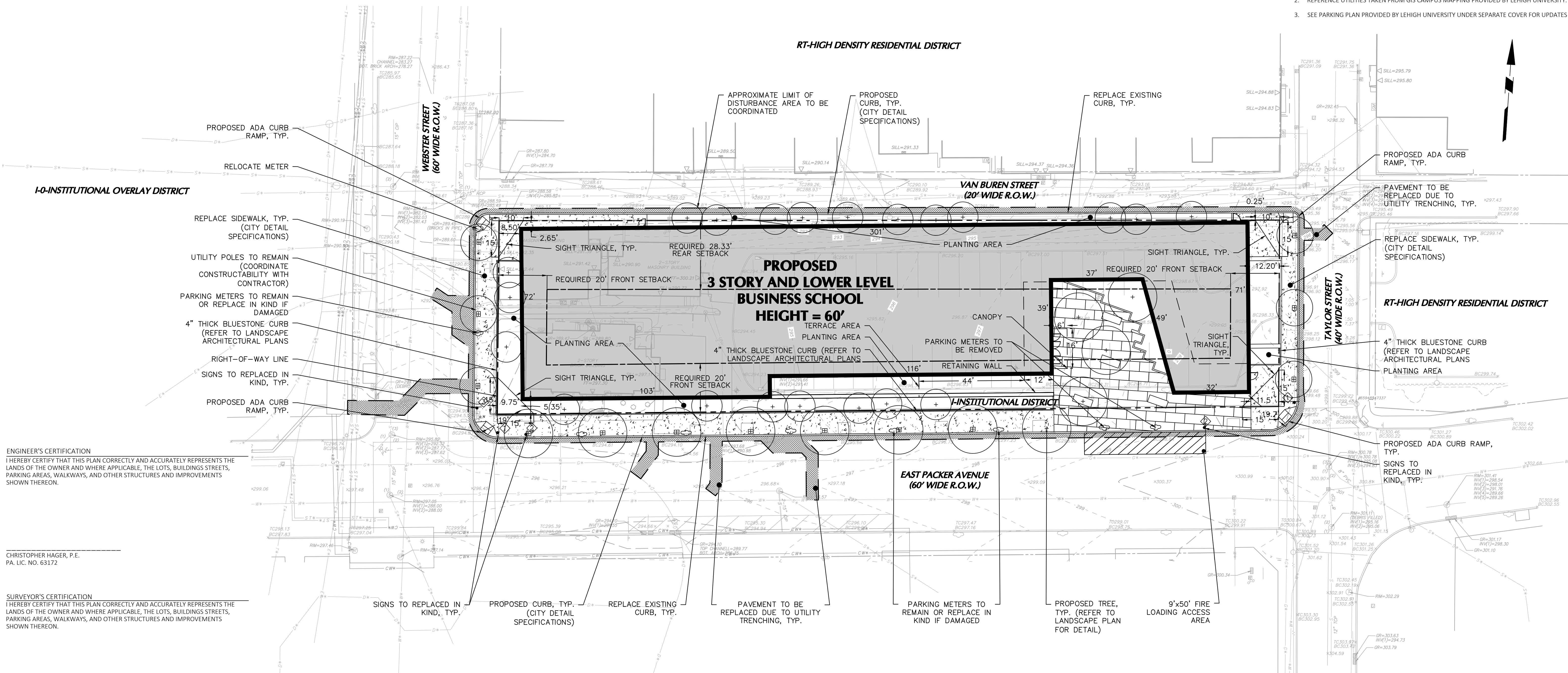
1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF HE/SHE DEEMS NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
7. THE ABOVE NOTES APPLY TO ALL ACCOMPANYING SHEETS.

SITE NOTES

1. THIS PLAN IS NOT VALID UNLESS EMBOSSED OR STAMPED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
2. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED A PLAN ENTITLED "TOPOGRAPHIC SURVEY" BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES INC. DRAWING NO. V-101 DATED.
3. A PENNSYLVANIA ONE CALL DESIGN MARK OUT REQUEST WAS MADE BY LANGAN ENGINEERING - SERIAL ###. IT IS IMPERATIVE THAT THE UTILITY COMPANIES ARE NOTIFIED PRIOR TO ANY EXCAVATION AND / OR CONSTRUCTION. CALL 1-800-242-1376 TO ORDER UTILITY MARK CUTS.
4. CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITE WORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
5. MERIDIAN IS REFERENCED TO PA SPCS NAD83.
6. VERTICAL DATA SHOWN IS BASED ON NAVD83 DATUM.
7. THIS SITE IS IN THE INSTITUTIONAL ZONING DISTRICT.
8. BASED ON FEMA FLOOD INSURANCE RATE MAP 42060C0326E COMMUNITY PANEL, EFFECTIVE DATE JULY 15, 2014, FOR CITY OF BETHLEHEM, PENNSYLVANIA, NORTHAMPTON COUNTY, THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
9. SITE ADDRESS: 459 WEBSTER STREET, BETHLEHEM, PA 18015.
10. THE NORTHAMPTON COUNTY DEED BOOK, IS VOLUME 285 PAGE 509-512.
11. ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PENNSYLVANIA SOUTH, FIPS ZONE 3700) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF A MYLAR COPY. THE ENGINEER OF RECORD SHALL CERTIFY (I.E. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON PC COMPATIBLE CD ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON THE THIRTY (30) INCH BY FORTY-TWO (42) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS INCLUDED IN THE DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
12. CONTRACTOR SHALL REFER TO LANDSCAPE DRAWINGS AND COORDINATE ACCORDINGLY. ARCHITECT AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN CASE OF DISCREPANCIES PRIOR TO CONSTRUCTION.

SURVEY NOTES

1. EXISTING INFORMATION REFERENCED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING MARCH, 2019.
2. REFERENCE UTILITIES TAKEN FROM GIS CAMPUS MAPPING PROVIDED BY LEHIGH UNIVERSITY.
3. SEE PARKING PLAN PROVIDED BY LEHIGH UNIVERSITY UNDER SEPARATE COVER FOR UPDATES TO CAMPUS-WIDE PARKING DISTRIBUTION.



ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

CHRISTOPHER HAGER, P.E.
PA LIC. NO. 63172

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

SHAUN HIGGINS PROFESSIONAL LAND SURVEYOR
PA LIC. NO. SU-051088-E

CERTIFICATE OF OWNERSHIP
I, THE ASSISTANT VICE PRESIDENT FOR FACILITIES SERVICES AND CAMPUS PLANNING & PROJECTS FOR LEHIGH UNIVERSITY, BEING DULY SWORN ACCORDING TO LAW, AND SAY THAT I AM THE OWNER OF THE ABOVE PROPERTY IN PEACEFUL POSSESSION OF THE SAME AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

CERTIFICATE OF APPROVAL BY THE CITY PLANNING COMMISSION

ON _____ THE PLANNING COMMISSION OF THE CITY OF BETHLEHEM APPROVED THE FINAL LAND DEVELOPMENT PLAN.

PLANNING COMMISSION CHAIRMAN _____ SECRETARY _____

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

DATE _____ PLANNER _____

RECORDING INFORMATION

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA
IN VOL. NO. _____ PAGE NO. _____ ON _____, 20____

RELIEF REQUESTED:

With regard to Dimensional Regulations for Primarily Non-Residential Districts and Additional Height Restrictions, Zoning Ordinance provides:

- §1306.01.b - In the Institutional Zone (I), the following setbacks, maximum percent building coverage and maximum percent impervious coverage are as follows:
- Front yard setback - 20 feet
- Side yard setback - Per §1302.67, the ordinance does not include island lots. However, per the city's guidance, island lots are to be considered a corner lot, with corners at Packer Avenue and Webster & Packer Avenue and Taylor Street. Since Van Buren Street meets the definition of an alley, the site contains three front yard setbacks, one rear yard setback, and zero side yards. Per §1318.07, the setback for both Webster and Taylor Streets is 20 feet.
- Rear yard setback - 15 feet, increased to 28.33 feet (refer to §1306.02.c. below)
- Maximum Percentage Building Coverage - 65%
- Maximum Percentage Impervious Coverage - 80%

§1306.02.c - In the CS, CG, LI, IO, IR and IN districts, if a building is proposed to have a height exceeding 35 feet, then one foot of additional setback shall be required from an abutting lot line of an existing dwelling in a residential district for each 3 feet of building height over 35 feet. If such dwelling is in common ownership at the time of construction of the taller building with the use providing the setback, the additional setback may be waived.

With regard to Front Yard Regulations and Buffer Yards, Zoning Ordinance provides:

- §1318.09 - Where a minimum front yard setback is specified in §1306, an open space of at least the specified depth shall be provided between the street line or lines and the nearest point of any building or structure except as may be permitted in §1318.1 and hereafter.
§1318.23 - Buffer yards are required along rear and side lot lines in all primarily non-residential districts (such as the CM, industrial redevelopment, commercial and industrial districts), along the district boundaries between a new or expanded non-residential use and any residential and institutional districts that directly abuts the non-residential district or is only separated from the non-residential district by an ordained alley or local street.
§1318.23.a - The buffer yard shall be measured from the property line or from the street right-of-way line where a buffer yard is required along a street right-of-way.
Unless otherwise stated, a buffer yard shall have a minimum width of 15 feet, except 8 feet shall apply in the CB or CL districts or where the applicant proposes to the City Planning Bureau Staff that the 15 foot width is not possible. Where a buffer yard is required abutting a street or alley right-of-way, the width of the buffer yard shall be measured from such right-of-way.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW A CONCEPTUAL LAYOUT FOR THE COLLEGE OF BUSINESS AND ECONOMICS EXPANSION (CBE) BUILDING AND TO ILLUSTRATE TO THE PLANNING COMMISSION AND ZONING HEARING BOARD THAT WAIVER AND ZONING RELIEF IS NECESSARY.
2. ALL PROPOSED UTILITIES ARE PROPOSED TO BE LOCATED UNDERGROUND. SOME EXISTING ABOVE GROUND UTILITIES ON ADJACENT ROADS ARE NOT OWNED BY LEHIGH AND WILL REMAIN.

SIGN LEGEND	
	STOP (R-1)
	NO PARKING
	ROAD NAME SIGN

PAVEMENT LEGEND	
	SIDEWALK REPLACEMENT
	ROADWAY REPLACEMENT
	PLAZA PAVERS

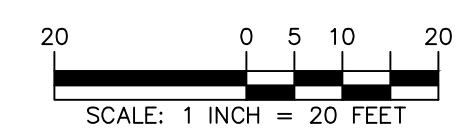
LEGEND	
	RIGHT-OF-WAY LINE
	SITE DISTURBANCE AREA
	REQUIRED SETBACK LINE
	EXISTING STORM WATER
	EXISTING SANITARY
	EXISTING WATER
	EXISTING GAS
	EXISTING TELECOM
	EXISTING ELECTRIC
	EXISTING OVERHEAD ELECTRIC
	PARKING METER

REFERENCE UTILITY LEGEND	
	EXISTING STORM WATER
	EXISTING SANITARY
	EXISTING WATER
	EXISTING CHILLED WATER
	EXISTING GAS
	EXISTING TELECOM
	EXISTING ELECTRIC
	EXISTING STEAM/CONDENSATE LINES

Given the need to accommodate and provide necessary functionality of the proposed building, the unique existing lot dimensions, and meet the required Sight Triangles dimensions, the required relief is as follows:

Description	Requirement	Proposed	Variance/Waiver
Front Yard Setback: Packer Avenue	20'	5'	15'
Front Yard Setback: Taylor Street	20'	12'	8'
Front Yard Setback: Webster Street	20'	8'	12'
Rear Yard Setback: Van Buren Street	28.33'	0'	28.33'
Maximum Percentage Building Coverage	65%	78%	13%
Maximum Percentage Impervious Coverage	80%	90%	10%
Maximum Building Height	35'	60'	25'
Minimum Open Space for Packer Avenue	20'	5'	15'
Minimum Open Space for Taylor Street	20'	12'	8'
Minimum Open Space for Webster Street	20'	8'	12'
Buffer yards	15'	None	15'
	SALDO Waiver		
Lot area equal to 1/3 of building gross ground floor area to be reserved for plantings.	6,369 sq. ft.	2,960 sq. ft.	3,409 sq. ft.

DEVELOPER/OWNER
LEHIGH UNIVERSITY
ATTN: MELANIE FLUCK
CAMPUS AND PLANNING PROJECTS
461 WEBSTER STREET, 3A
610-758-4732



CBE Expansion Lehigh University

200 East Packer Avenue
Bethlehem, PA 18015

VMA

ARCHITECT
Voth & Mastovich Architects LP
2401 Walnut Street, 6th Floor
Philadelphia, PA 19103
phone 215-545-4544
voithandmastovich.com

CIVIL ENGINEER
Langan Engineering
One West Broad St, Suite 200
Bethlehem, PA 18015
phone 610-984-8500
fax 610-984-8501

LANDSCAPE ARCHITECT
Stephen Stimson Associates
288 Norfolk Street, 5th Floor
Cambridge, MA 02139
phone 617-876-8960

STRUCTURAL ENGINEER
Keast & Wood
400 Market Street, Suite 1250
Philadelphia, PA 19106
phone 215-625-0099

M/E/P/FF ENGINEERING
Bruce E. Brooks & Associates
2209 Chestnut Street
Philadelphia, PA 19103
phone 215-569-0400
fax 215-569-2664

ACOUSTICAL / AV / IT
Marshall / MKM Acoustics
5 Covey Place
Monroeville, NJ 08343
phone 215-990-3187

BUILDING ENVELOPE CONSULTANT
TBS Services
617 Station Avenue
Haddon Heights, NJ 08035
phone 856-547-6250
fax 856-547-6254

ELEVATOR CONSULTANT
Zpf Associates
PO Box 2431, 25 Bala Avenue, Suite 201
Bala Cynwyd, PA 19004
phone 610-667-1717
fax 610-667-6854

SIGNAGE CONSULTANT
Roll Barresi & Associates
48 Dunster Street
Cambridge, MA 02138
phone 617-868-5430

COST ESTIMATOR
Becker & Frondorf
1500 Walnut Street, Suite 1910
Philadelphia, PA 19102
phone 215-772-1400

100% DESIGN DEVELOPMENT SET
NOT FOR CONSTRUCTION

Date July 15, 2019
Title CIVIL SITE PLAN

Scale 1" = 20'
Drawn By JPK

CS-1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.